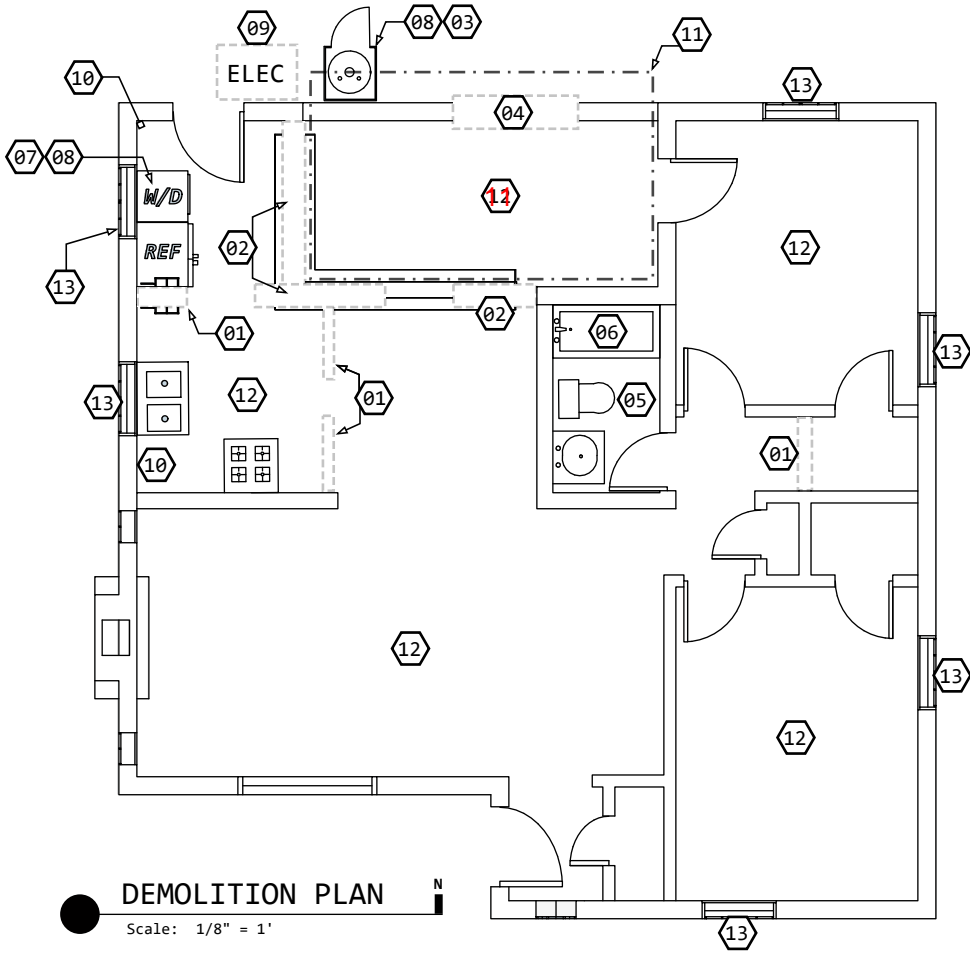




Sheet #1

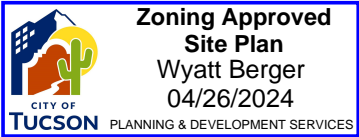


DEMOLITION KEY INDEX

- 01 - DEMO NON-BEARING 2x4 DRYWALL/PLASTER WALLS.
- 02 - DEMO BEARING BRICK MASONRY WALLS, ADDING BEAMS AS PER FRAMING PLAN.
- 03 - REMOVE WATER HEATER AND RELOCATE AS PER PLUMBING PLAN,
- 04 - REMOVE WINDOW, FILL AND MOVE OPENING AS PER FRAMING PLAN.
- 05 - REMOVE TOILET AND RELOCATE AGAINST WALL AS PER PLUMBING PLAN.
- 06 - REMOVE TUB, REPLACE WITGH WALK-IN SHOWER AS PER PLUMBING PLAN.
- 07 - REMOVE EXISTING WASHER/DRYER AND RELOCATE AS PER PLUMBING.
- 08 - DEMO GAS LINE BACK TO NEAREST LIVE BRANCH, CAP UNUSED LINE.
- 09 - DEMO HOUSE ELECTRICAL SUB-PANEL REPLACE AS PER ELECTRICAL PLAN.
- 10 - DEMO DRYWALL/PLASTER SURFACE (LEAVING BRICK).
- 11 - DEMO ARIZONA ROOM ROOF, REPLACE AS PER ROOFING PLAN.
- 12 - DEMO TILE FLOOR THROUGHOUT.
- 13 - REMOVE WINDOW, REPLACE AS PER WINDOW SCHEDULE.
- 14 - REMOVE DRYWALL/PLASTER CEILING, REPLACE AS PER FRAMING PLAN.

DEMOLITION GENERAL NOTES

- ALL NEW WORK SHALL COMPLY W/ CURRENT APPLICABLE CODES.
- ALL ITEMS TO BE REMOVED SHALL BE DONE WITH THE DIRECTION OF THE OWNER ACCORDINGLY.
- SERVICE POWER SUPPLY, ETC. TO ELEC FIXTURES, PLUMBING FIXTURES/LINES, SEWER LINES, AND GAS LINES SHALL BE CAPPED AND DISCONNECTED ACCORDINGLY.
- ITEMS SALVAGED PER OWNER/CONTRACTOR DIRECTION.
- PROVIDE SUPPORT/BRACING AS REQUIRED PRIOR TO REMOVAL OF STRUCTURAL PORTIONS OF WALL AND ROOF SYSTEM.
- PROVIDE PROTECTION AS REQUIRED FOR WEATHER, SECURITY, SAFETY AND (OPTIONAL) LOCATE SECURITY CAMERA WITH OWNER.
- REMOVE ALL EXISTING ELEC FIXTURES AND WIRING AS POSSIBLE. HOUSE TO BE REWIRED WITH NEW PER PLANS AND 2018 CODES.



R-1, remodel existing residence, no change to number of bedrooms



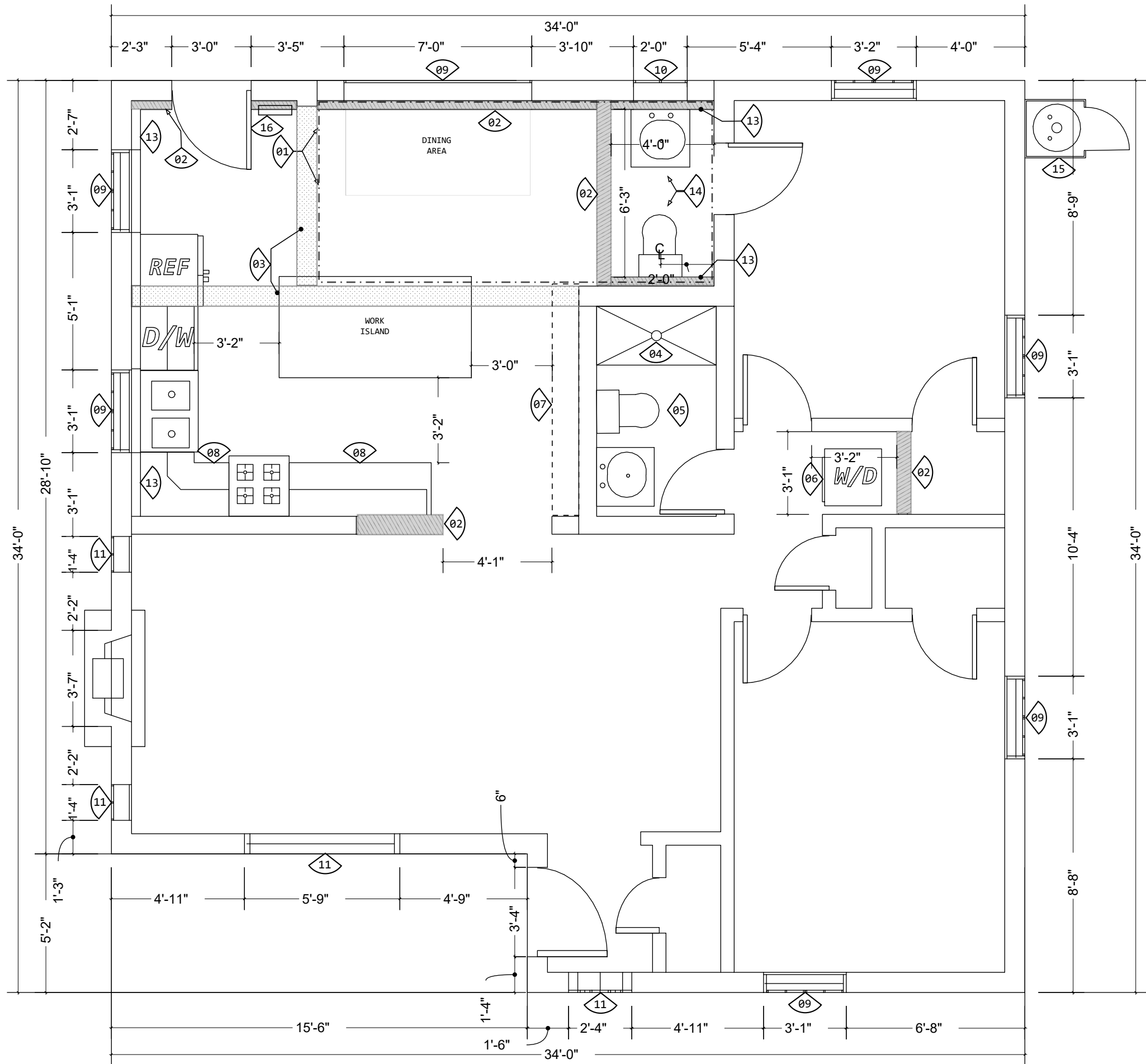
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A2-DEMO PLAN

Sheet #2

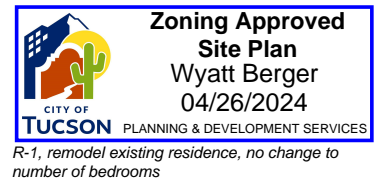


01 FLOOR PLAN KEY INDEX

1. INFILL PORCH FLOOR TO EX KIT. FLOOR HEIGHT.
2. NEW 2x4 AND GYP. WALL, NOT LOAD BEARING.
3. GLULAM BEAMS AS PER FRAMING PLAN.
4. WALK-IN SHOWER REPLACING EX. TUB.
5. EX TOILET MOVED CLOSER TO W. WALL.
6. W/D MOVED TO THIS LOCATION, SEE PLUMBING AND MECHANICAL.
7. NEW BUILT-IN SHELVING
8. NEW BASE AND UPPER CABINETS.
9. REPLACEMENT WINDOW AS PER WINDOW SCHEDULE.
10. NEW WINDOW AS PER FRAMING.
11. EXISTING WINDOW KEPT.
12. EXISTING WINDOW FILLED IN.
13. WALL FINISH OF INSULATION, FURRING STRIPS + GYP. BD. AS PER FRAMING.
14. NEW POWDER ROOM: W.C. AND LAVATORY.
15. HOT WATER HEATER IN NEW POSITION
16. NEW ELEC. 125AMP INDOOR SUB-PANEL

FLOOR PLAN GENERAL NOTES

- A. ALL NEW CONSTRUCTION TO COMPLY WITH 2018 IRC.
- B. NOT ALL KEYNOTES APPLY TO ALL SHEETS
- C. DO NOT SCALE DIMENSIONS, USE WRITTEN DIMENSIONS OR WHERE NO DIMENSIONS ARE GIVEN, CONSULT THE DESIGNER FOR CLARIFICATION BEFORE PROCEEDING W/ THE WORK.
- D. PROVIDE CEMENT WONDER BD. OR EQUAL AT SHOWERS, TUBS AND WATER CLOSET.



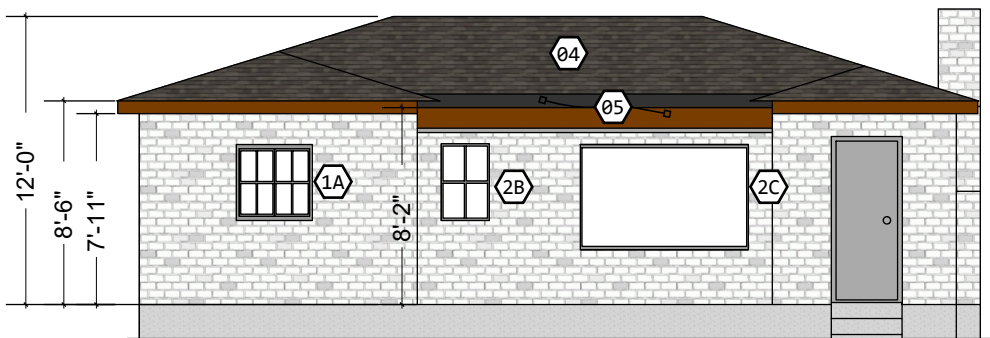
PROPOSED FLOOR PLAN
Scale: 1/4" = 1'

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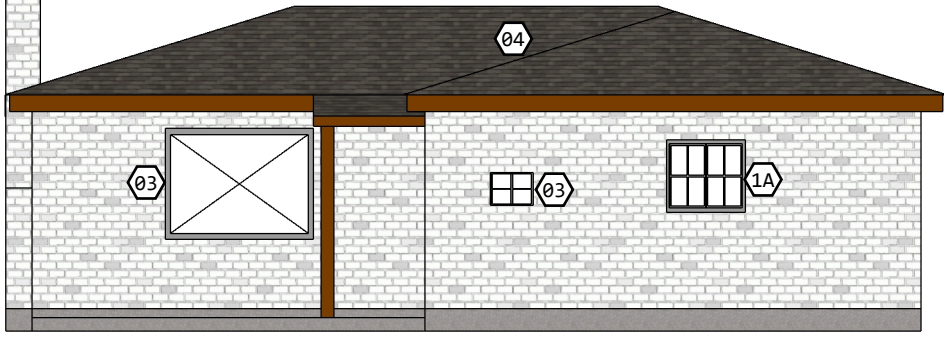
A3-FLOOR PLAN

Sheet #3



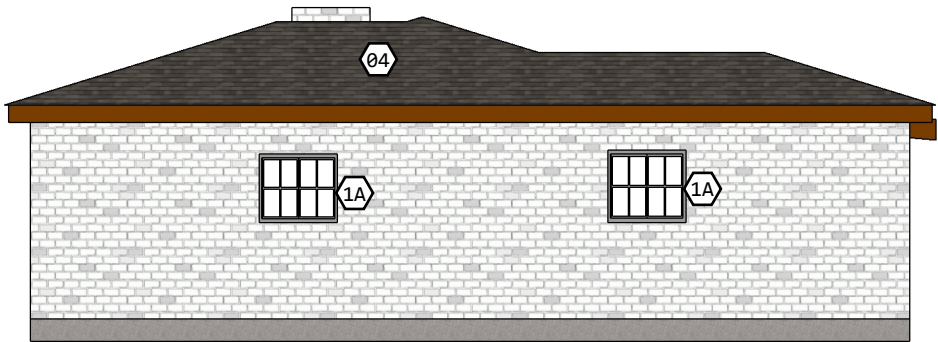
NORTH ELEVATION

Scale: 1/8" : 1'



SOUTH ELEVATION

Scale: 1/8" : 1'



EAST ELEVATION

Scale: 1/8" : 1'



WEST ELEVATION

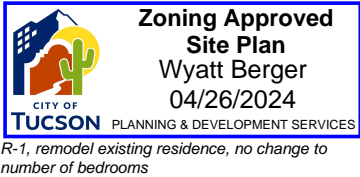
Scale: 1/8" : 1'

ELEVATIONS KEY INDEX

1. REPLACEMENT WINDOW: AS PER SCHEDULE.
2. NEW WINDOW: AS PER SCHEDULE.
3. EX WINDOW.
4. EX ASPHALT SHINGLE ROOF, NO CHANGES U.N.O.
5. PORCH ROOF TO REBUILD AS PER FRAMING.

WINDOW SCHEDULE

KEY	WINDOW TYPE	SIZE	CLEAR OPEN'G	UNIT #	MAT'L		U FACTOR	QTY
A	SINGLE HUNG		38"Wx36"H	A250 SH	ALUMINUM	DBL-GL ARGON	.32 SHGC:.23VT: .53	5
B	SINGLE HUNG		24"Wx38"H	A250 SH	ALUMINUM	DBL-GL ARGON PRIVACY	.32 SHGC:.23VT: .53	1
C	PICTURE		84"Wx53"H	TBD	TBD	TBD	AS ABOVE MIN.	1



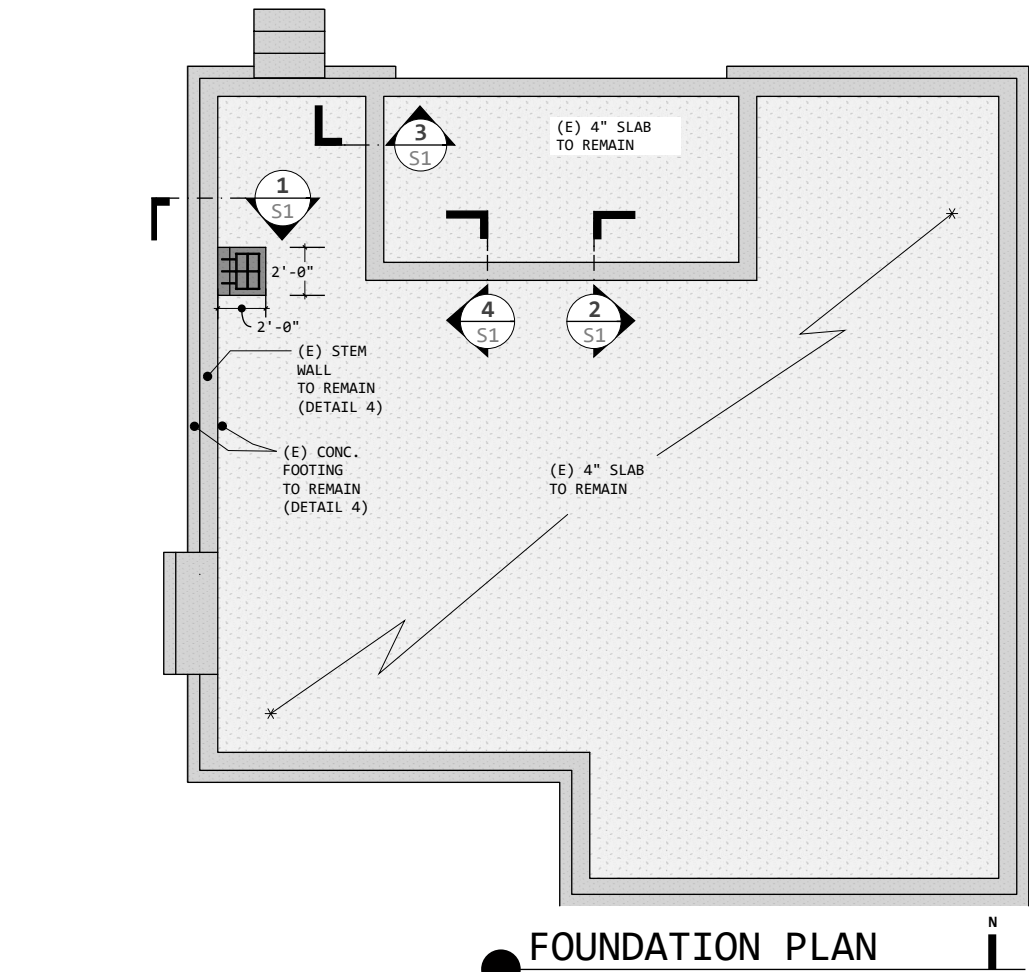
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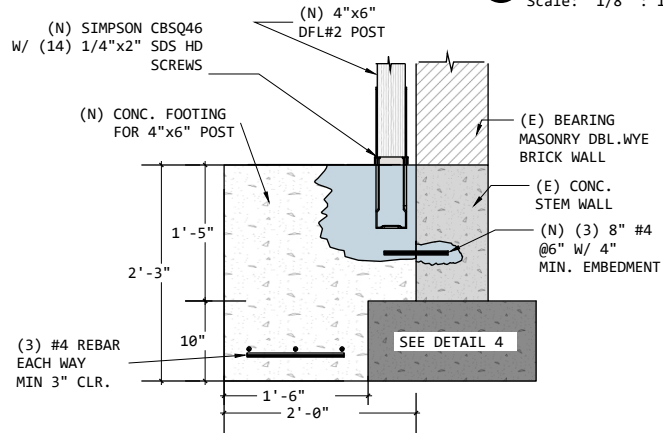
A4-ELEVATIONS

Sheet #4



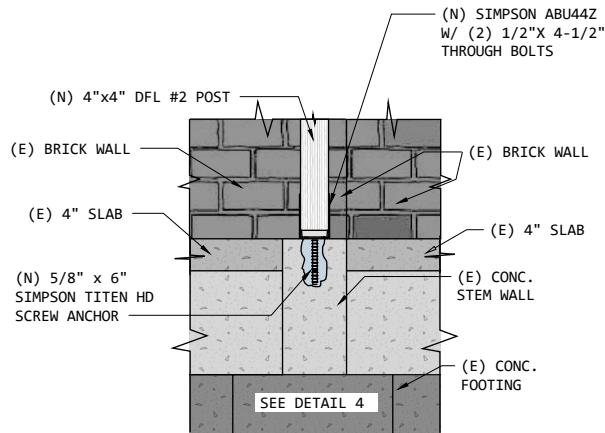
FOUNDATION PLAN

Scale: 1/8" : 1'



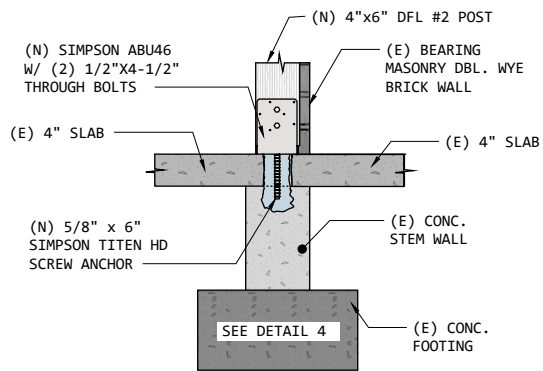
DETAIL: 1
NEW CONC. FOOTING FOR WEST POST FOR GLULAM BEAM

Scale: 1/2" : 1'



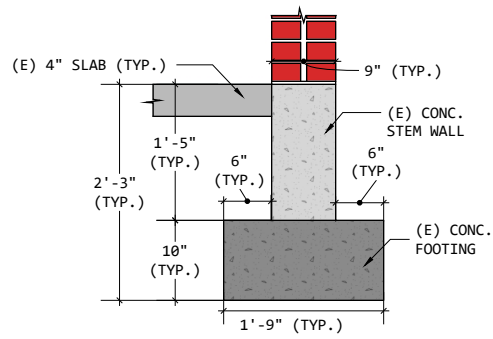
DETAIL: 3
(N) CONC. FOOTING FOR POST FOR BEAM 2

Scale: 1/2" : 1'



DETAIL: 2
(N) POST BASE FOR BEAM 1

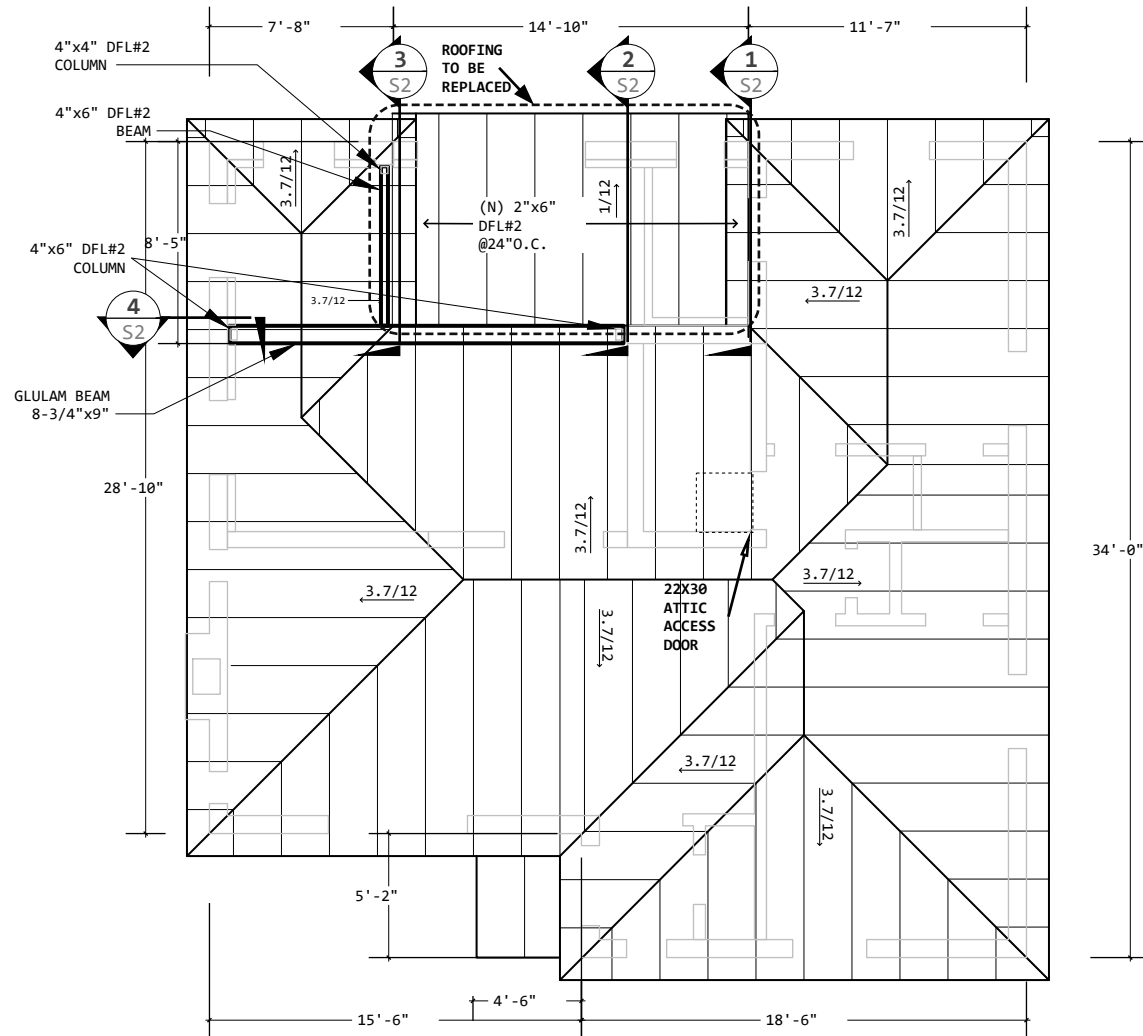
Scale: 1/2" : 1'



DETAIL: 4
(E) CONC. STEM WALL + FOOTING (TYP.)

Scale: 1/2" : 1'





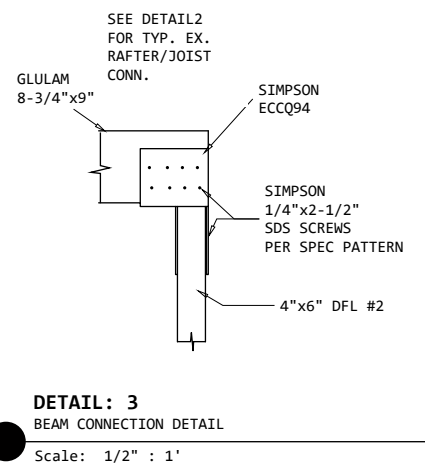
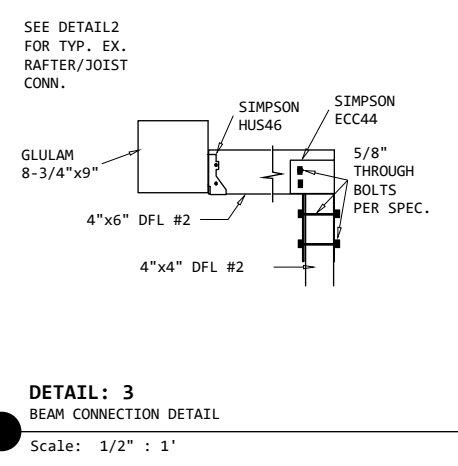
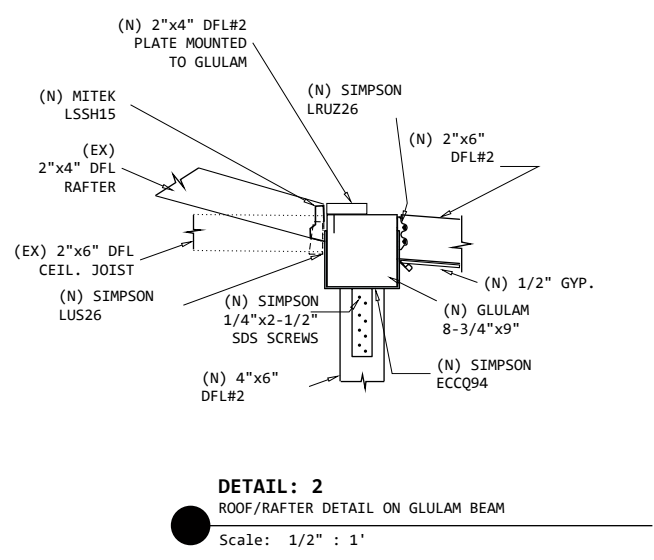
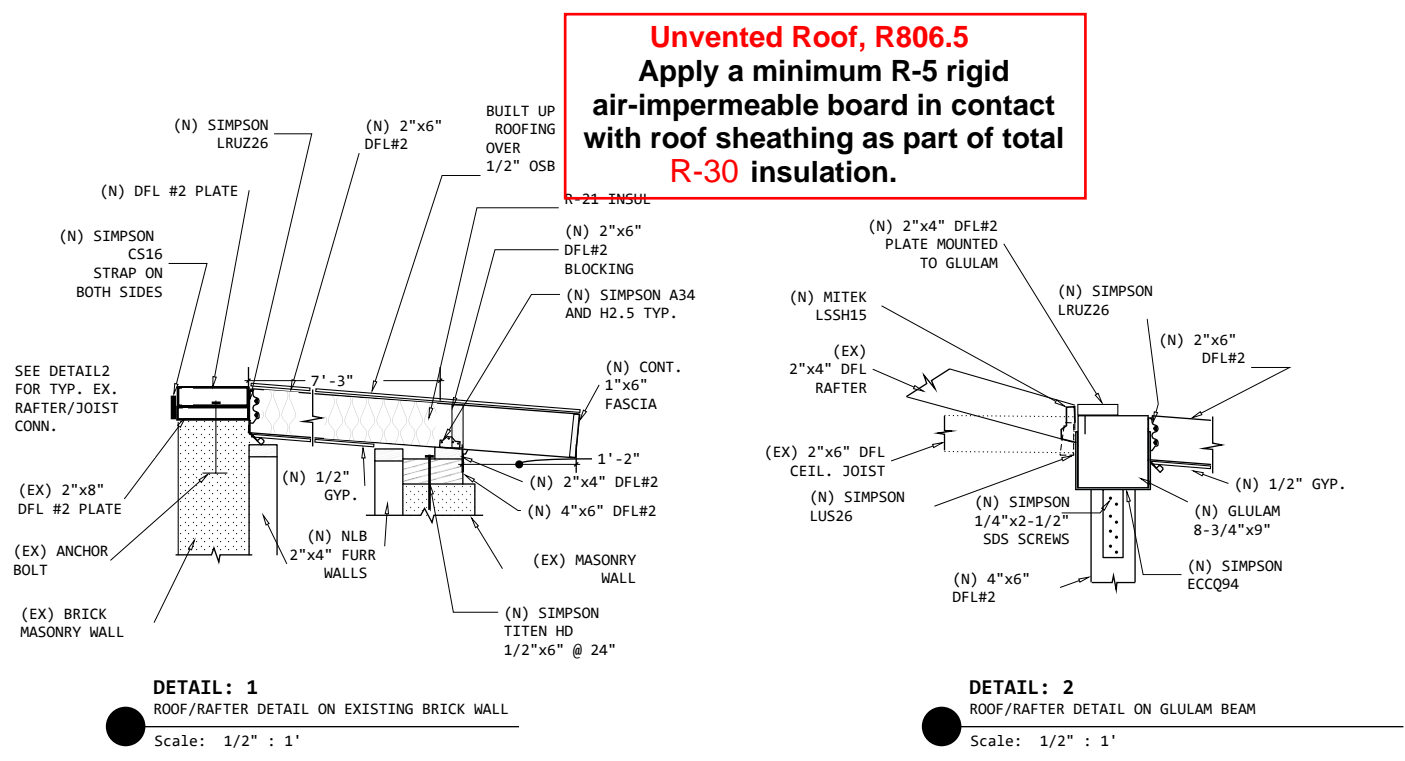
ROOF FRAMING PLAN
Scale: 1/8" : 1'

ROOF FRAMING NOTES

1. ROOF SECTION INDICATED WILL BE REPLACED. ALL OTHER ROOF TO REMAIN.
2. EX. ROOF FRAMING IS 2"x4" RAFTERS @24"O.C. WITH 2"x6" HIP/VALLEY RAFTERS AND RIDGE BOARDS. "KICKERS" AND SUPP. BRACING TYP.
3. EX. CEILING FRAMING 2"x6"@16"O.C.

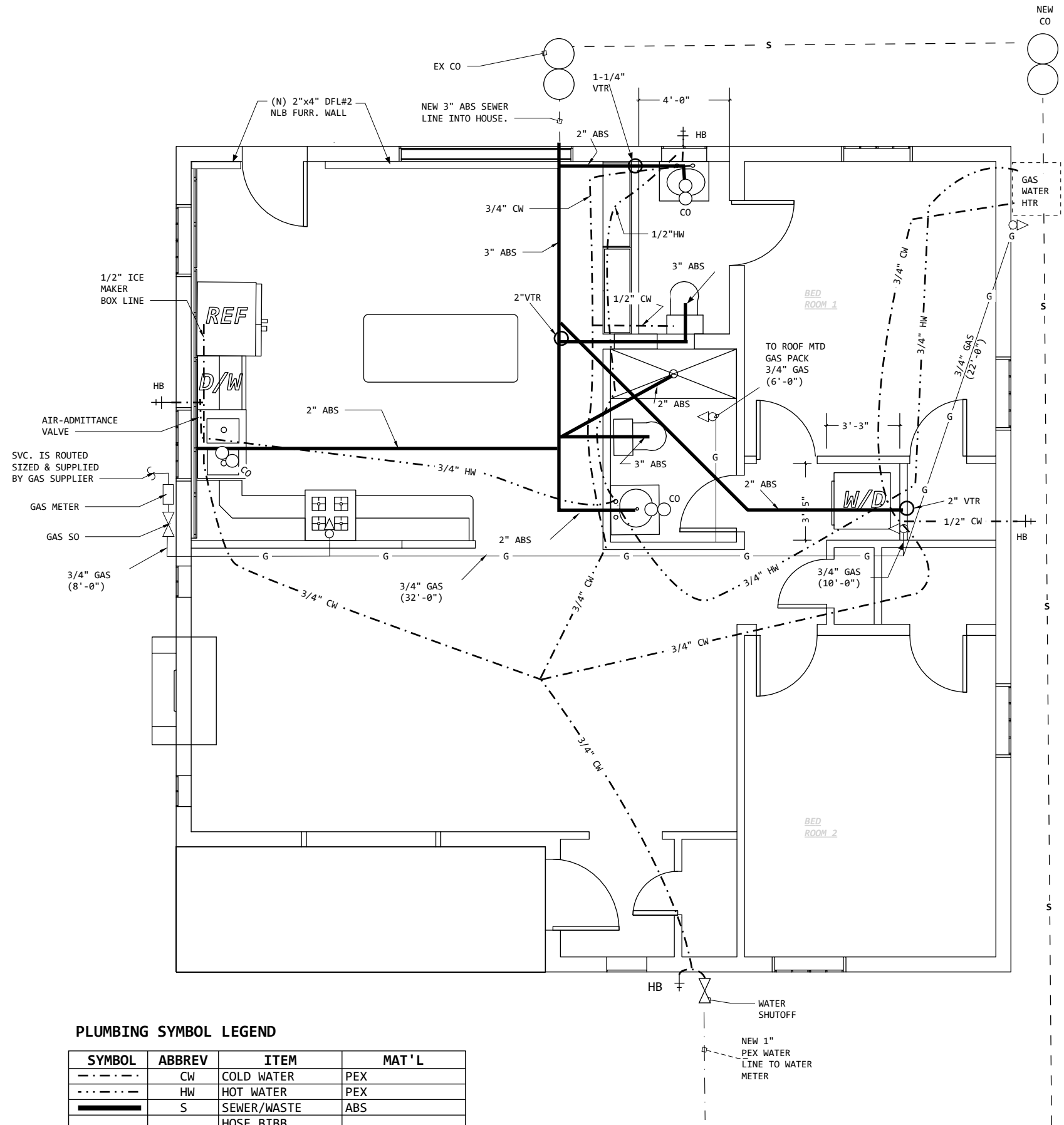
GENERAL STRUCTURAL NOTES

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2018 IBC, AS ADOPTED BY CITY OF TUCSON.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND FIELD CONDITIONS PRIOR TO ANY DEMOLITION, FABRICATION, CONSTRUCTION OR INSTALLATION & NOTIFY ARCHITECT/DESIGNER IF CONDITIONS, MATERIALS, SIZES AND/OR DIMENSIONS ARE DIFFERENT FROM THOSE SHOWN.
3. CROSS REFERENCE ALL DIMENSIONS AND DETAILS WITH STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS BEFORE COMMENCING ANY FABRICATION AND/OR CONSTRUCTION.
4. INTERIOR BEARING WALLS: 2x6 STUDS @ 16" O.C.
5. INTERIOR NON-BEARING WALLS: 2x4 STUDS @ 24" O.C. (U.N.O.)
6. ALL PLATES (INTERIOR AND EXTERIOR, LOAD BEARING AND NON-LOAD BEARING) SHALL BE PRESSURE TREATED OR FOUNDATION GRADE. IRC SECTION R403.1
7. ALL INSPECTIONS REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS OR BY THESE DRAWINGS SHALL BE PROVIDED BY THE LOCAL BUILDING DEPARTMENT, OR AN INDEPENDENT INSPECTION COMPANY UNDER THE SUPERVISION OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF ARIZONA.



REVIEWED FOR BUILDING CODE COMPLIANCE
K. Van Karsen
04/11/2024
CITY OF TUCSON PLANNING AND DEVELOPMENT SERVICES

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PLUMBING SYMBOL LEGEND

SYMBOL	ABBREV	ITEM	MAT'L
---	CW	COLD WATER	PEX
---	HW	HOT WATER	PEX
---	S	SEWER/WASTE	ABS
HB	HB	HOSE BIBB W/VAC.BREAKER	
SO	SO	SHUT OFF	
CO	CO	CLEAN OUT	
G	G	GAS	STEEL (BLACK)

PLUMBING PLAN

Scale: 3/16" : 1'

GENERAL PLUMBING NOTES

- INSTALLATION SHALL COMPLY WITH THE 2018 IRC / IPC WITH CITY OF TUCSON AMENDMENTS.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING SEWER INVERT & ALL PIPE ROUTING AND SHALL NOTIFY OWNER OF ANY CONFLICTS WHICH MAY AFFECT THE SCOPE OF WORK.
- A DIELECTRIC UNION SHALL BE USED TO JOIN ANY DISSIMILAR METAL PIPING OR FITTINGS.
- CONTRACTOR SHALL FURNISH ANY MISCELLANEOUS ITEMS NORMALLY USED, OR GENERALLY INFERRED TO RENDER A COMPLETE WORKING AND COUNTY APPROVED INSTALLATION.
- DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER OR EQUAL ALL JOINTS SHALL BE MADE WITH A LEAD-FREE SOLDER PEX IS AN EQUIVALENT SUBSTITUTE.
- WASTE AND VENT PIPING SHALL BE ABS PLASTIC PIPE. INTERIOR WASTE PIPING SHALL SLOPE AT MINIMUM 2%.
- PLUMBING VENTS SHALL BE A MINIMUM OF 10 FEET AWAY FROM ALL AIR INTAKES PER 2018 IRC / IPC.
- HOT WATER PIPING SHALL HAVE MINIMUM OF R-3 INSULATION AT ALL OF THE FOLLOWING CONDITIONS: PIPING FROM THE WATER HEATER TO KITCHEN OUTLETS, PIPING LOCATED OUTSIDE THE CONDITIONED SPACE, OR PIPING WITH RUN LENGTHS GREATER THAN 20 NOMINAL FEET FOR 1/2" PIPING OR 10 NOMINAL FEET FOR 3/4" PIPING PER TABLE N1103.4.2.ALL NEW CONSTRUCTION TO COMPLY WITH 2018 IRC.
- PLUMBING INSTALLATION TO BE TESTED PER LOCAL CODES, PRIOR TO CLOSING THE SYSTEM.

WATER & WASTE SCHEDULE

FIXTURE	QTY	WATER FU	TOTAL WATER	WASTE FU	TOTAL WASTE
KITCHEN GRP	1	2.5	2.5	3	3
CLOTHES WASHER	1	1.4	1.4	3	3
TOILET	2	2.2	4.4	3	6
LAVATORY	2	.7	1.4	1	2
*HOSE BIBB	4	2.5	**2.5	-	-
TOTAL			12.2		14

* HOSE BIBB SHALL HAVE INTEGRAL BACK FLOW PREVENTER
** ASSUMED ONLY ONE HOSE BIBB IN USE AT A TIME.

TOTAL DEVELOPED LEN.: 75'
ASSUMED WATER PRESS.: 60+ PSI
WATER METER SIZE: 1"

TOT. WATER UNITS: 12.2
NEW SUPPLY LINE: 1"



PLUMBING SCHEDULE

FIXTURE	TRAP	WASTE	VENT	CW	HW	NOTES
KIT SINK	1-1/2"	2"	1-1/2"	1/2"	1/2"	W/DISPOSAL
DISHWASHER	1-1/2"	2"	1.5"	-	1/2"	
LAVATORY	1-1/4"	1-1/2"	1-1/4"	1/2"	1/2"	
TOILET	3"	3"	2"	1/2"	-	
SHOWER	2"	2"	1.5"	1/2"	1/2"	
WATER HTR.	-	-	-	3/4"	1"	W/.75" PRV

MAX DISTANCE OF TRAP ARM TO VENT:
1-1/4" = 2'-6" 1-1/2" = 3'-6"
2" = 5'-0" 3" = 6'-0"
>= 4" = 10'-0"

GAS DEMAND CALCULATION

FURNACE	80,000 / 1,000 = 80.0
RANGE	65,000 / 1,000 = 65.0
WATER HTR	50,000 / 1,000 = 50.0
DRYER	35,000 / 1,000 = 35.0
TOTAL	379,000 / 1,000 = 379.0
GAS LINE DEVELOPED LENGTH: 62'-0"	

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P1-PLUMBING

Sheet #7



1. EX METER, EX 200 AMP SERVICE-ENTRANCE
PANEL WITH ENCLOSED FUSED SWITCH TO REMAIN.
2. EX GARAGE SUB PANEL TO REMAIN
3. EX O.H. LINE TO TEP POLE TO REMAIN
4. EX INT. LINE IN GARAGE THROUGH RAFTERS TO
REMAIN.
5. EX O.H. LINE TO HOUSE TO BE REPLACED WITH
U.G. LINE USING 2"ø PVC CONDUIT FOR SUB-
PANEL FEEDERS: (3) x 3/ø ALUM. + (1) 2 AWG
(GRND).
6. EX 125 AMP HOUSE SUB-PANEL
TO BE REPLACED WITH INSIDE PANEL (KEY 7).
7. NEW 125 AMP HOUSE SUB-PANEL MIN 40 CIRCUIT
W/ 125 AMP MAIN BREAKER (EATON BRP20B125
OR SIMILAR)



GENERAL ELECTRICAL NOTES

1.
- INSTALLATION SHALL COMPLY WITH THE 2018 IRC WITH CITY OF TUCSON AMENDMENTS.
2.
- EXTERIOR LIGHT FIXTURES SHALL COMPLY WITH THE OUTDOOR LIGHTING CODE ADOPTED BY CITY OF TUCSON.
3.
- MINIMUM SIZE CONDUCTORS: 15A CIRCUITS: #14AWG COPPER, 20A CIRCUITS: #12AWG COPPER, 30A CIRCUITS: #10AWG COPPER.
4.
- PROVIDE GFCI RECEPTACLES AT LOCATIONS WHERE INDICATED PER I.R.C. E3802.
5.
- ARC FAULT CIRCUIT INTERRUPTER - AFCI ALL BRANCH CIRCUITS THAT SUPPLY 15 - AND 20 - AMPERE OUTLETS (LIGHTING, SWITCHES, RECEPTACLES, SMOKE/CARBON MONOXIDE ALARMS, ETC.) IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, SUNROOMS, CLOSETS, HALLWAYS, OR SIMILAR AREAS SHALL BE PROTECTED BY A COMBINATION ARC FAULT CIRCUIT INTERRUPTER.
6.
- GROUND FAULT CIRCUIT INTERRUPTER - GFCI ALL 15 OR 20 AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED BELOW SHALL HAVE GROUND FAULT-CIRCUIT-INTERRUPTERS PROTECTION FOR PERSONNEL: BATHROOMS, GARAGES AND UNFINISHED ACCESSORY BUILDINGS USED FOR STORAGE OR WORK AREAS, OUTDOORS, CRAWL SPACES AT OR BELOW GRADE LEVEL, KITCHENS, WHERE THE RECEPTACLES ARE INSTALLED TO SERVICE THE COUNTER TOP SURFACES, LAUNDRY, UTILITY, AND WET BAR SINKS, WHERE THE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK.
7.
- ALL BRANCH CIRCUITS THAT SUPPLY 120V, 1PH, 15AMP or 20AMP SHALL BE ARC FAULT PROTECTED.
8.
- ALL RECEPTACLES BELOW 5'-6" FROM FINISH FLOOR ELEVATION SHALL BE TAMPER-RESISTANT RECEPTACLES WITH THE EXCEPTION OF RECEPTACLES DEDICATED FOR LUMINAIRE OR APPLIANCES.
9.
- A RECEPTACLE SHALL BE INSTALLED AT EACH WALL ALONG THE COUNTERTP SPACE 12 INCHES OR WIDER. RECEPTACLE OUTLETS SHALL BE INSTALLED AT 24" O.C. MAX SPACING. RECEPTACLES ARE NOT REQUIRED DIRECTLY BEHIND THE COOKTOP UNIT OR KITCHEN SINK.
10.
- ALL RECEPTACLES @ 12"
11.
- OUTLET SPACING PER 2018 IRC SECTION E3901.2.1
12.
- CLOSET LIGHTING PER 2018 IRC SECTION E4003.12
13.
- OUTLETS ABOVE COUNTER TOPS IN KITCHEN SHALL BE GFCI
14.
- SMOKE DETECTOR INSTALLATION PER 2018 IRC R314: A. SMOKE DETECTORS SHALL BE HARD WIRED W/ BATTERY BACKUP. B. WALL: MINIMUM 6", MAXIMUM 12" BELOW CEILING. MINIMUM 18" FROM CORNERS OR PER LISTING. C. CEILING: MINIMUM 6" FORM VERTICAL SURFACES OR PER LISTING. D. INSTALLATION SHALL BE MINIMUM OF 3'-0" FROM ANY MECHANICAL SUPPLY OR RETURN GRILL. E. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACKUP. F. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED (INTERCONNECTING REQUIRED)
15.
- PROVIDE ALL SWITCHES, RECEPTACLES, AND CONTROLS WITHIN 48" OF THE FLOOR BUT NOT LESS THAN 15 INCHES ABOVE THE FLOOR, 1003.9.
16.
- CEILING FANS SHALL BE MOUNTED TO APPROVED BOXES PER 2018 IRC E4004.5



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E1.2-
ELECTRICAL
NOTES

Sheet #9

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