

## PROJECT INFORMATION

PROJECT ADDRESS: 1403 E SILVER ST, TUCSON AZ 85719  
 LEGAL DESCRIPTION: JEFFERSON PARK, LOT 9, BLOCK 5  
 OWNER: VAZQUEZ IVAN & ROTHERS JANET LOUISE  
 PARCEL ID: 113101770  
 ZONING: R-1

### BUILDING SETBACKS:

YARD	REQ'D	EXISTING
FRONT (S)	20'-0"	30'-0"
SIDE (E)	6'-0"	6'-0"
SIDE (W)	6'-0"	7'-0"
BACK (N)	6'-0"	6'-6"

### NO ADDL. COVERAGE PROPOSED

### BUILDING AREAS:

(E) RESIDENCE: 1217 S.F.  
 (E) PORCHES: 132 S.F.  
 (E) VEHICULAR USE: 620 S.F.

### LOT COVERAGE:

(E) RESIDENCE: 1217 S.F.  
 (E) VEHICULAR USE: 620 S.F.

TOTAL 1792 S.F.

MAX LOT COVERAGE:  
 $70\% * (50' * 150') = 5250$  S.F.  
 EXISTING: 1792 S.F.

## SHEET INDEX

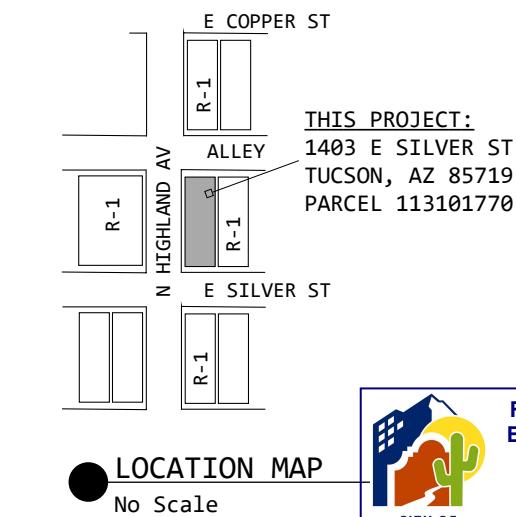
- (1) A1 SITE PLAN/COVER SHEET
- (2) A2 DEMO PLANS
- (3) A3 FLOOR PLANS
- (4) A4 ELEVATIONS
- (5) S1 FOUNDATIONS
- (6) S2 FRAMING PLANS
- (7) P1 PLUMBING PLANS
- (8) E1.1 ELECTRICAL PLANS
- (9) E1.2 ELECTRICAL NOTES

MECHANICAL PLANS DEFERRED SUBMITTAL

## SCOPE OF WORK

THE SCOPE OF WORK CONSISTS OF REMODELING EXISTING 1217 S.F. SINGLE-FAMILY HOUSE. WORK INCLUDES:

- FULL REMODEL (MERGING) OF EXISTING KITCHEN/DINING ROOM.
- REMOVAL OF LOAD-BEARING BRICK WALLS+ADDITION OF SUPPORT BEAMS AS PER FRAMING PLAN.
- PARTITIONING OF EX AZ ROOM CREATING NEW POWDER ROOM OFF NE BEDROOM.
- COMPLETE DEMO AND REPLACEMENT OF ROTTED AZ ROOM ROOF.
- FULL REMODEL OF EXISTING BATHROOM.
- MOVE EXISTING GAS WATER HEATER.
- ADD NEW SEWER CLEANOUT AS PER PLUMBING PLAN.
- RELOCATE WASHER/DRYER:
- REMODEL EXISTING HALL CLOSET SPACE AS PER FRAMING
- ADD WATER LINES, SEWER FOR W/D AS PER PLUMBING
- ADD W/D VENTING (AS PER M+P)
- WHOLE HOUSE:
- REPLACE PLASTER CEILINGS WITH GYP+INSULATION AT ROOF STRUCTURE.
- REPLACE WINDOWS PER PLAN.
- UPGRADE WIRING AND ALL ELEC FIXTURES PER ELEC PLAN.
- UPGRADE OF EX HOUSE ELEC PANEL PER ELEC PLAN.
- REPLACEMENT OF EX SEWER LINE THROUGHOUT HOUSE PER PLUMBING PLAN.
- REPLACE EX. O/H ELEC LINE FROM GARAGE TO HOUSE BE UNDERGROUND.



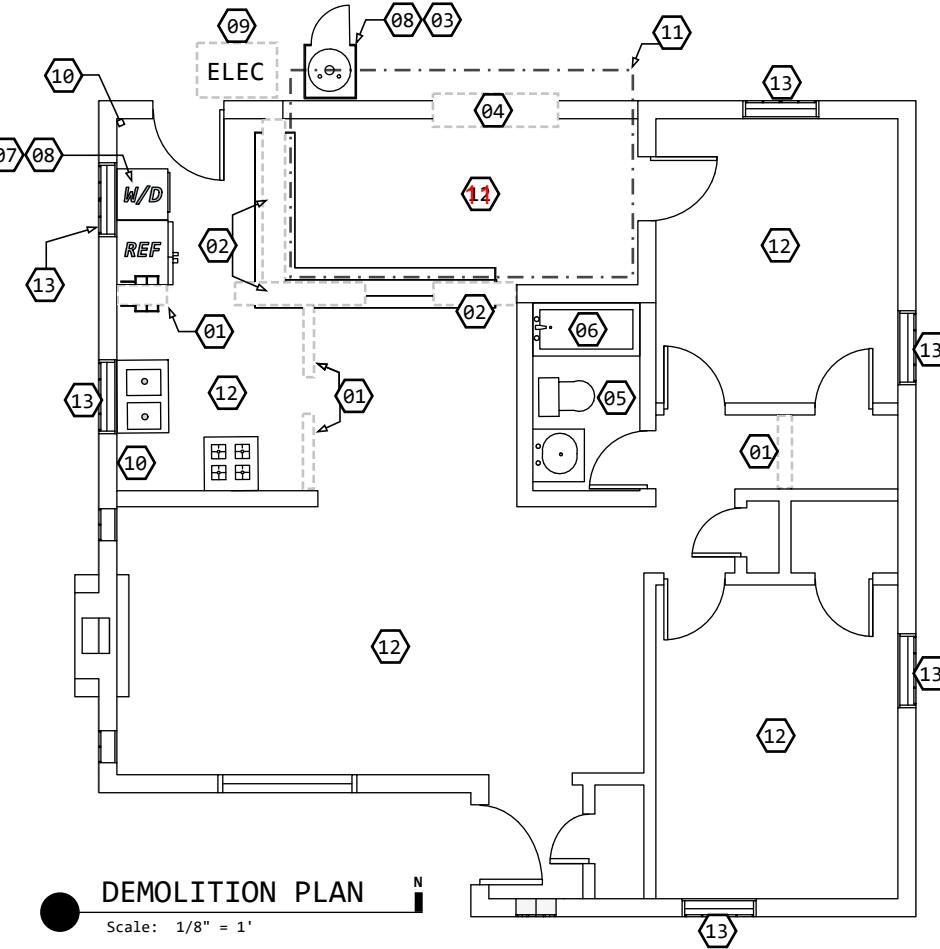
PROJECT  
03.25.2024-V1 REMODEL 1403 E SILVER ST

ISSUE  
03.25.2024-V1

Printed Date: 2024.03.25

A1-SITE PLAN

Sheet #1



## DEMOLITION KEY INDEX

- 01 - DEMO NON-BEARING 2x4 DRYWALL/PLASTER WALLS.
- 02 - DEMO BEARING BRICK MASONRY WALLS, ADDING BEAMS AS PER FRAMING PLAN.
- 03 - REMOVE WATER HEATER AND RELOCATE AS PER PLUMBING PLAN,
- 04 - REMOVE WINDOW, FILL AND MOVE OPENING AS PER FRAMING PLAN.
- 05 - REMOVE TOILET AND RELOCATE AGAINST WALL AS PER PLUMBING PLAN.
- 06 - REMOVE TUB, REPLACE WITH WALK-IN SHOWER AS PER PLUMBING PLAN.
- 07 - REMOVE EXISTING WASHER/DRYER AND RELOCATE AS PER PLUMBING.
- 08 - DEMO GAS LINE BACK TO NEAREST LIVE BRANCH, CAP UNUSED LINE.
- 09 - DEMO HOUSE ELECTRICAL SUB-PANEL REPLACE AS PER ELECTRICAL PLAN.
- 10 - DEMO DRYWALL/PLASTER SURFACE (LEAVING BRICK).
- 11 - DEMO ARIZONA ROOM ROOF, REPLACE AS PER ROOFING PLAN.
- 12 - DEMO TILE FLOOR THROUGHOUT.
- 13 - REMOVE WINDOW, REPLACE AS PER WINDOW SCHEDULE.
- 14 - REMOVE DRYWALL/PLASTER CEILING, REPLACE AS PER FRAMING PLAN.

## DEMOLITION GENERAL NOTES

1. ALL NEW WORK SHALL COMPLY W/ CURRENT APPLICABLE CODES.
2. ALL ITEMS TO BE REMOVED SHALL BE DONE WITH THE DIRECTION OF THE OWNER ACCORDINGLY.
3. SERVICE POWER SUPPLY, ETC. TO ELEC FIXTURES, PLUMBING FIXTURES/LINES, SEWER LINES, AND GAS LINES SHALL BE CAPPED AND DISCONNECTED ACCORDINGLY.
4. ITEMS SALVAGED PER OWNER/CONTRACTOR DIRECTION.
5. PROVIDE SUPPORT/BRACING AS REQUIRED PRIOR TO REMOVAL OF STRUCTURAL PORTIONS OF WALL AND ROOF SYSTEM.
6. PROVIDE PROTECTION AS REQUIRED FOR WEATHER, SECURITY, SAFETY AND (OPTIONAL) LOCATE SECURITY CAMERA WITH OWNER.
7. REMOVE ALL EXISTING ELEC FIXTURES AND WIRING AS POSSIBLE.

HOUSE TO BE REWIRED WITH NEW PER PLANS AND 2018 CODES.

PROJECT  
03.25.2024-V1 REMODEL 1403 E SILVER ST

DRAWN BY  
IV

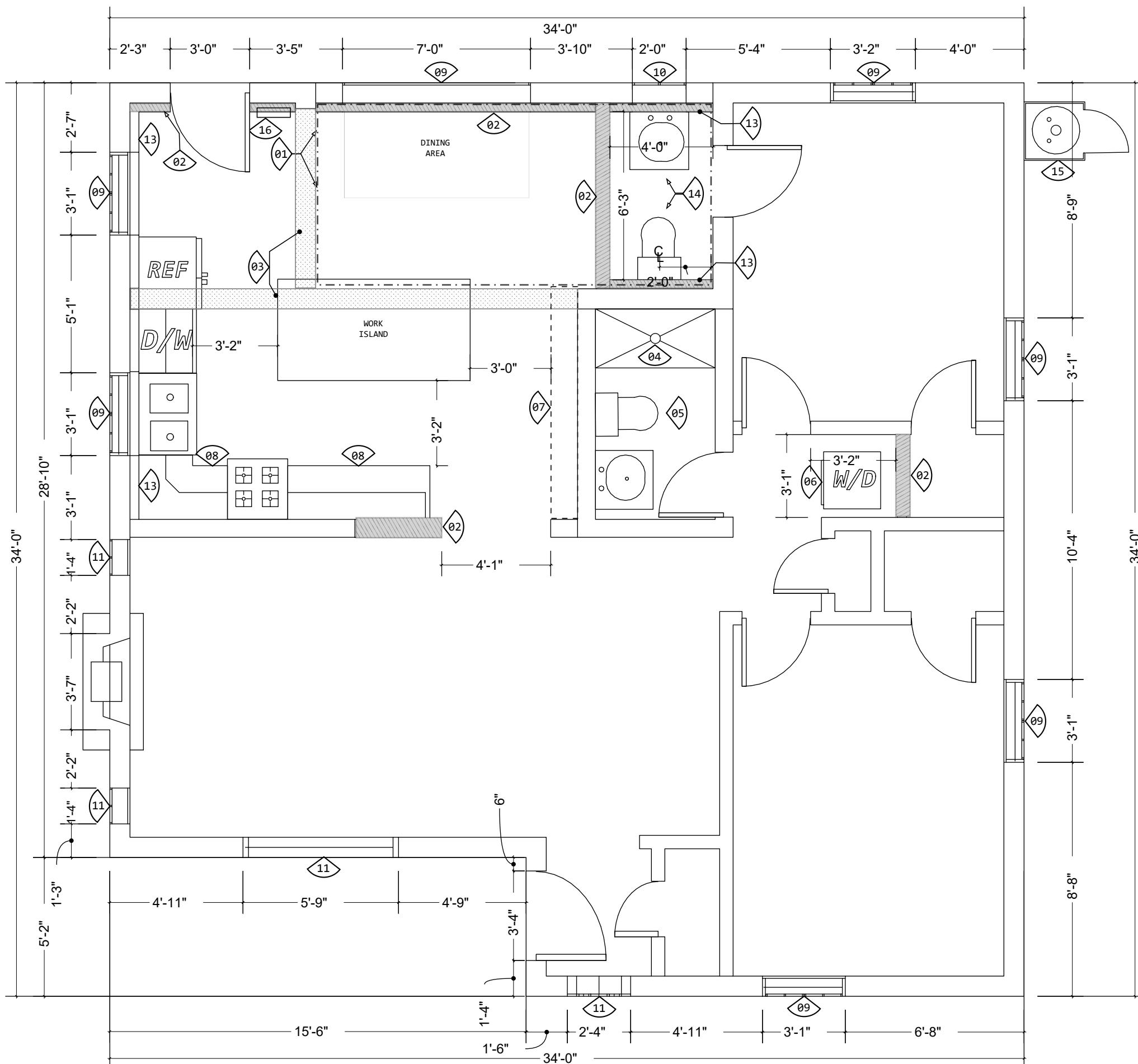


Printed Date: 2024.03.25

A2-DEMO PLAN



Sheet #2

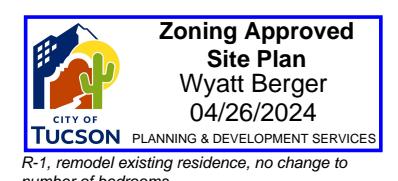


## FLOOR PLAN KEY INDEX

01. INFILL PORCH FLOOR TO EX KIT. FLOOR HEIGHT.
02. NEW 2x4 AND GYP. WALL, NOT LOAD BEARING.
03. GLULAM BEAMS AS PER FRAMING PLAN.
04. WALK-IN SHOWER REPLACING EX. TUB.
05. EX TOILET MOVED CLOSER TO W. WALL.
06. W/D MOVED TO THIS LOCATION, SEE PLUMBING AND MECHANICAL.
07. NEW BUILT-IN SHELVING
08. NEW BASE AND UPPER CABINETS.
09. REPLACEMENT WINDOW AS PER WINDOW SCHEDULE.
10. NEW WINDOW AS PER FRAMING.
11. EXISTING WINDOW KEPT.
12. EXISTING WINDOW FILLED IN.
13. WALL FINISH OF INSULATION, FURRING STRIPS + GYP. BD. AS PER FRAMING.
14. NEW POWDER ROOM: W.C. AND LAVATORY.
15. HOT WATER HEATER IN NEW POSITION
16. NEW ELEC. 125AMP INDOOR SUB-PANEL

## FLOOR PLAN GENERAL NOTES

- A. ALL NEW CONSTRUCTION TO COMPLY WITH 2018 IRC.
- B. NOT ALL KEYNOTES APPLY TO ALL SHEETS
- C. DO NOT SCALE DIMENSIONS, USE WRITTEN DIMENSIONS OR WHERE NO DIMENSIONS ARE GIVEN, CONSULT THE DESIGNER FOR CLARIFICATION BEFORE PROCEEDING W/ THE WORK.
- D. PROVIDE CEMENT WONDER BD. OR EQUAL AT SHOWERS, TUBS AND WATER CLOSET.



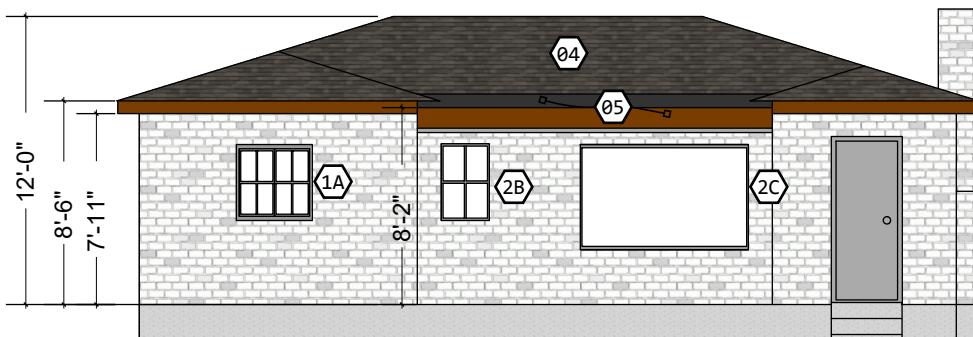
PROJECT  
03.25.2024-V1 REMODEL 1403 E SILVER ST  
DRAWN BY  
IV

Printed Date: 2024.03.25

A3-FLOOR PLAN

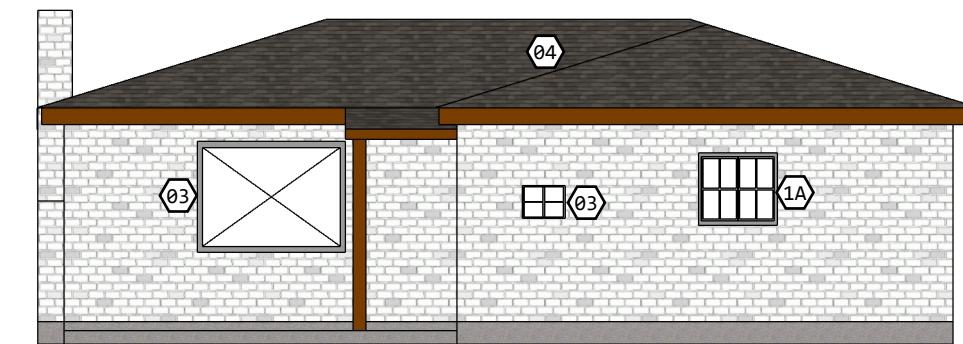


Sheet #3



**NORTH ELEVATION**

Scale: 1/8" : 1'



**SOUTH ELEVATION**

Scale: 1/8" : 1'



**EAST ELEVATION**

Scale: 1/8" : 1'



**WEST ELEVATION**

Scale: 1/8" : 1'

#### ELEVATIONS KEY INDEX

1. REPLACEMENT WINDOW: AS PER SCHEDULE.
2. NEW WINDOW: AS PER SCHEDULE.
3. EX WINDOW.
4. EX ASPHALT SHINGLE ROOF, NO CHANGES U.N.O.
5. PORCH ROOF TO REBUILD AS PER FRAMING.

#### WINDOW SCHEDULE

KEY	WINDOW TYPE	SIZE	CLEAR OPEN'G	UNIT #	MAT'L	U FACTOR	QTY
A	SINGLE HUNG		38"Wx36"H	A250 SH	ALUMINUM	.32 SHGC:.23VT: .53	5
B	SINGLE HUNG		24"Wx38"H	A250 SH	ALUMINUM	.32 SHGC:.23VT: .53	1
C	PICTURE		84"Wx53"H	TBD	TBD	AS ABOVE MIN.	1

PROJECT  
03.25.2024\_V1 REMODEL 1403 E SILVER ST

DRAWN BY  
IV

Printed Date: 2024.03.25

A4-ELEVATIONS



Sheet #4

ISSUE PROJECT  
03.25.2024-V1 REMODEL 1403 E SILVER ST

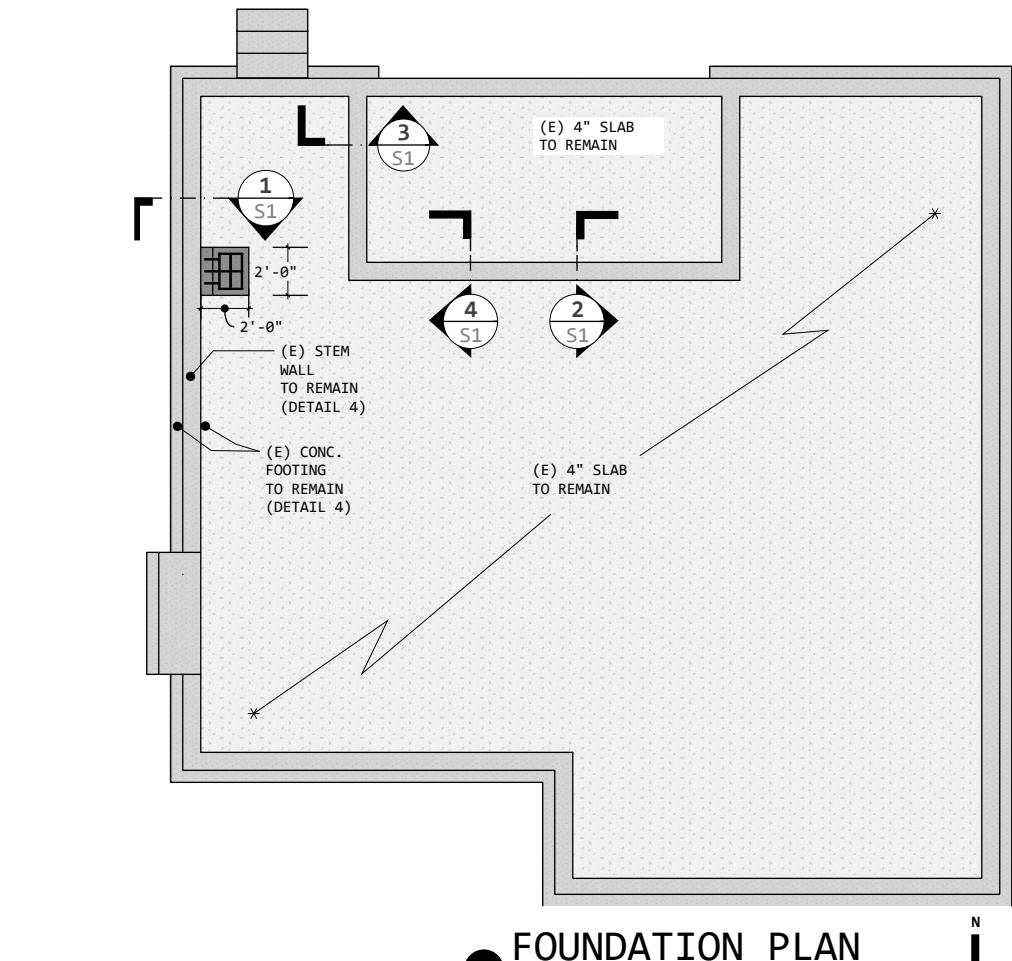
Printed Date: 2024.03.25



REVIEWED FOR  
BUILDING CODE  
COMPLIANCE  
K. Van Karsen  
04/11/2024

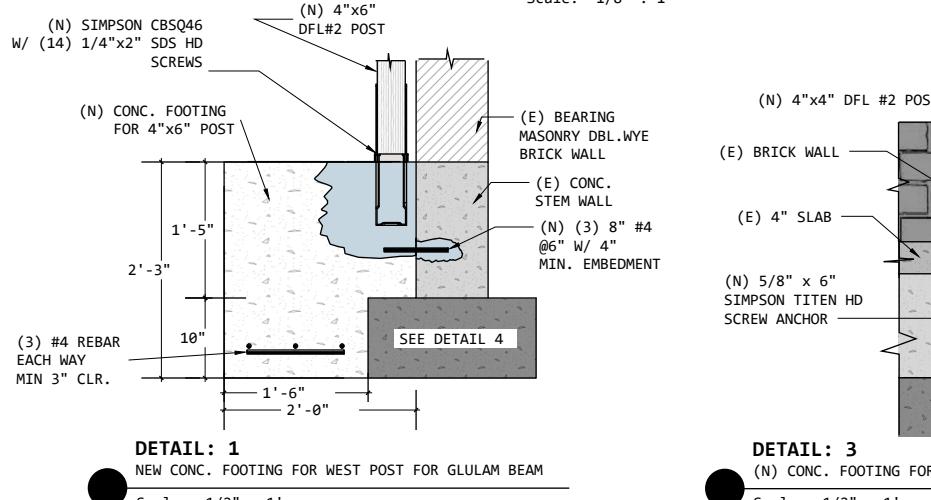
## **S1-FOUNDATION PLAN**

## Sheet #5



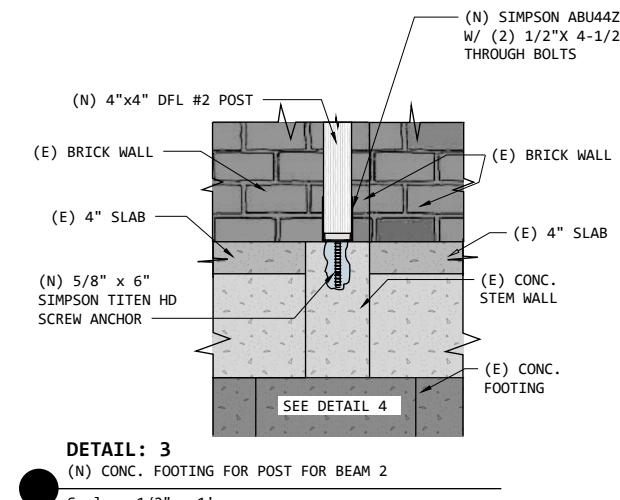
## FOUNDATION PLAN

Scale: 1/8" : 1



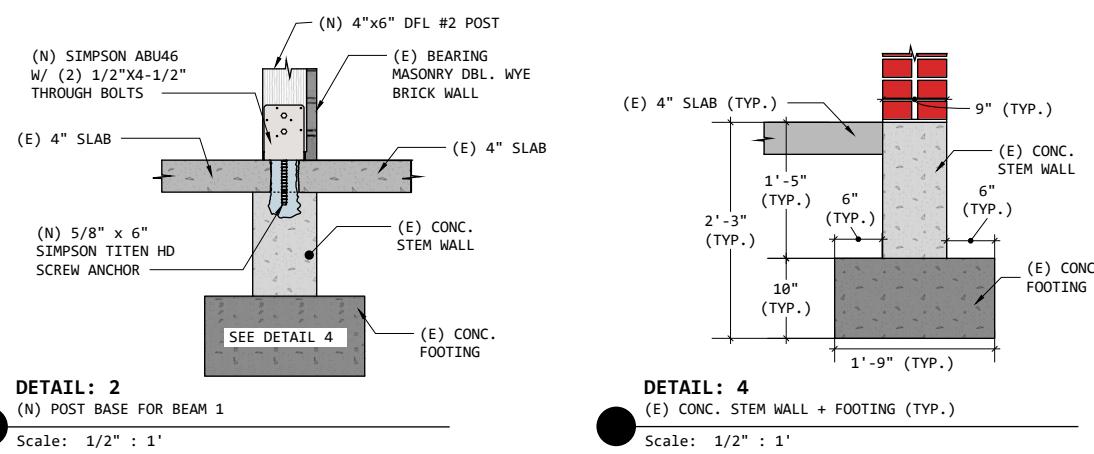
**DETAIL: 1**  
NEW CONC. FOOTING FOR WEST POST FOR GLULAM BEAM

Scale: 1/2" : 1'



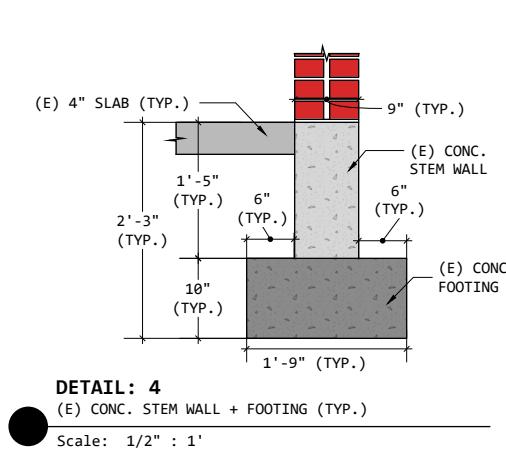
**DETAIL: 3**

Scale: 1/2" :



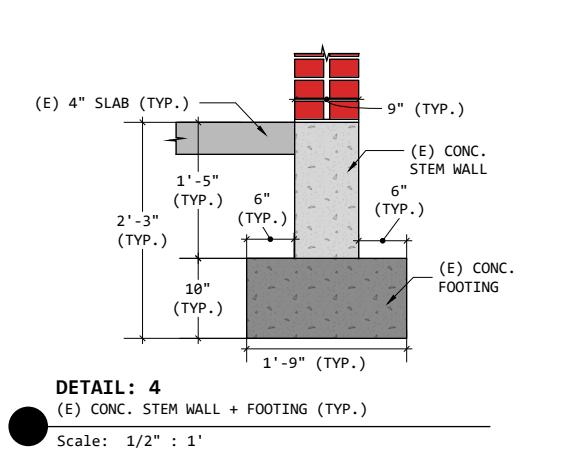
**DETAIL: 2**

Scale: 1/2" : 1'



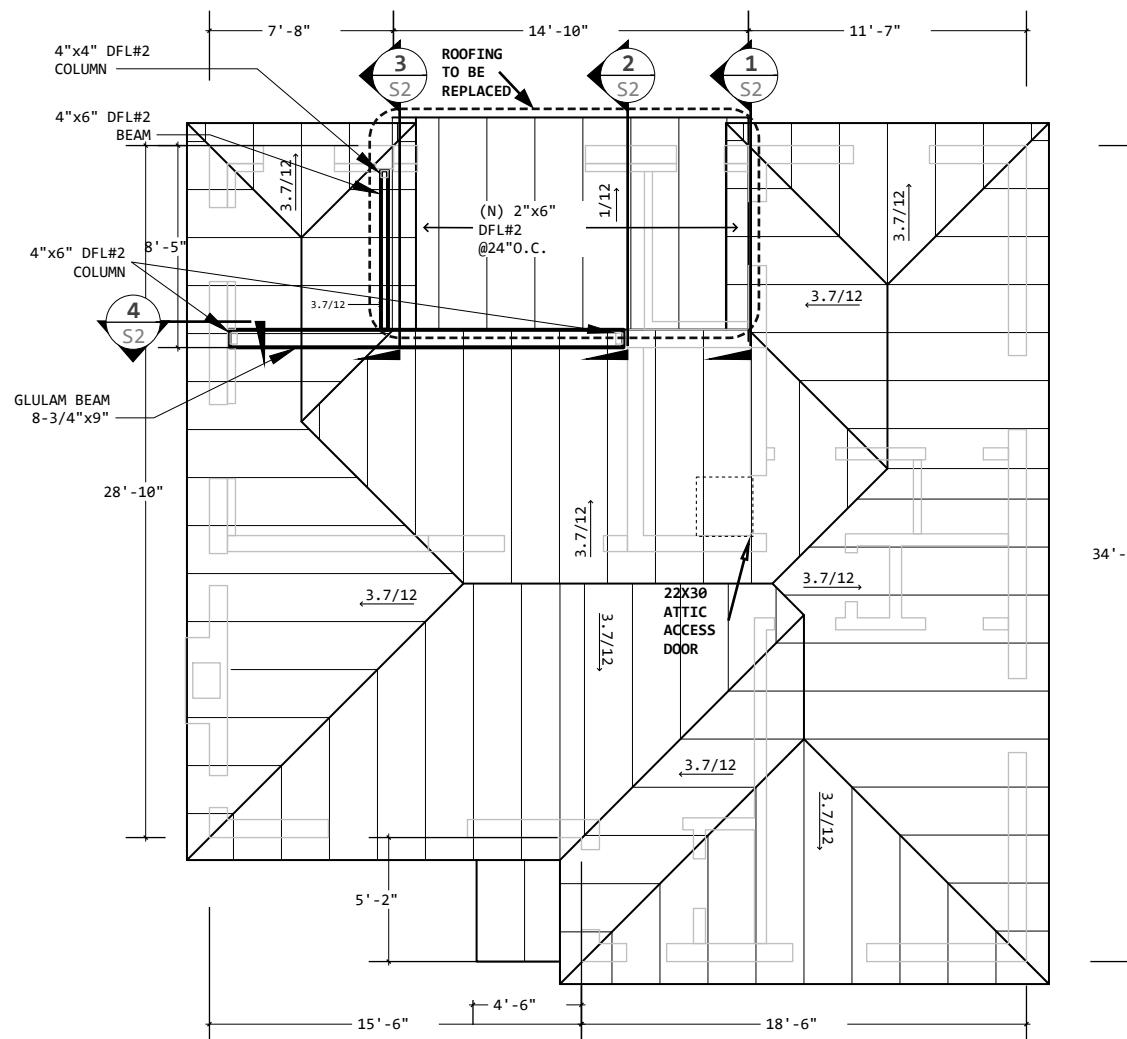
**DETAIL: 4**  
(E) CONC. STEM WALL + FOOTING (TYP.)

Scale: 1/2"



**DETAIL: 4**

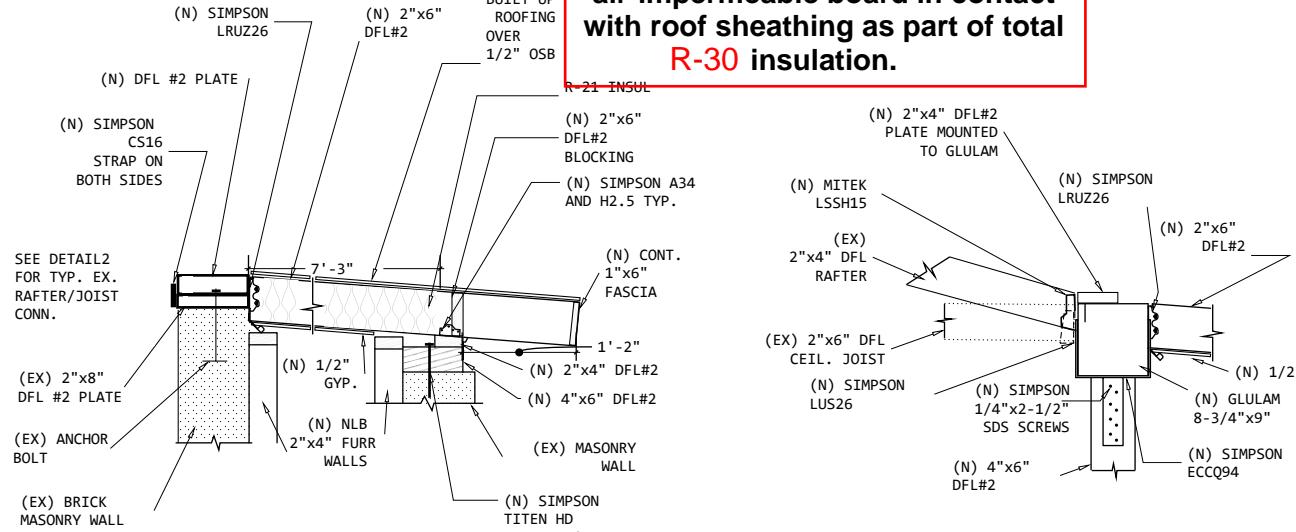
Scale: 1/2"



ROOF FRAMING PLAN

Scale: 1/8" : 1'

**Unvented Roof, R806.5**  
Apply a minimum R-5 rigid air-impermeable board in contact with roof sheathing as part of total R-30 insulation.



DETAIL: 1  
ROOF/RAFTER DETAIL ON EXISTING BRICK WALL

Scale: 1/2" : 1'

DETAIL: 2  
ROOF/RAFTER DETAIL ON GLULAM BEAM

Scale: 1/2" : 1'

DETAIL: 3  
BEAM CONNECTION DETAIL

Scale: 1/2" : 1'

## GENERAL STRUCTURAL NOTES

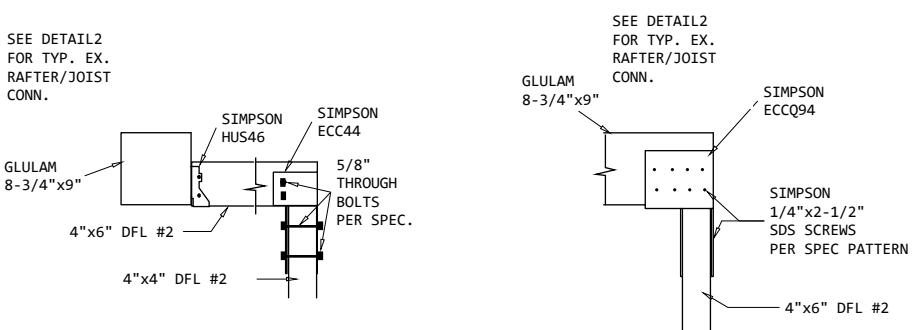
1. ROOF SECTION INDICATED WILL BE REPLACED. ALL OTHER ROOF TO REMAIN. EX. ROOF FRAMING IS 2"x4" RAFTERS @24" O.C. WITH 2"x6" HIP/VALLEY RAFTERS AND RIDGE BOARDS, "KICKERS" AND SUPP. BRACING TYP.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND FIELD CONDITIONS PRIOR TO ANY DEMOLITION, FABRICATION, CONSTRUCTION OR INSTALLATION & NOTIFY ARCHITECT/DESIGNER IF CONDITIONS, MATERIALS, SIZES AND/OR DIMENSIONS ARE DIFFERENT FROM THOSE SHOWN.
3. CROSS REFERENCE ALL DIMENSIONS AND DETAILS WITH STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS BEFORE COMMENCING ANY FABRICATION AND/OR CONSTRUCTION.

4. INTERIOR BEARING WALLS: 2x6 STUDS @ 16" O.C.
5. INTERIOR NON-BEARING WALLS: 2x4 STUDS @ 24" O.C. (U.N.O.)
6. ALL PLATES (INTERIOR AND EXTERIOR, LOAD BEARING AND NON-LOAD BEARING) SHALL BE PRESSURE TREATED OR FOUNDATION GRADE. IRC SECTION R403.1
7. ALL INSPECTIONS REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS OR BY THESE DRAWINGS SHALL BE PROVIDED BY THE LOCAL BUILDING DEPARTMENT, OR AN INDEPENDENT INSPECTION COMPANY UNDER THE SUPERVISION OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF ARIZONA.

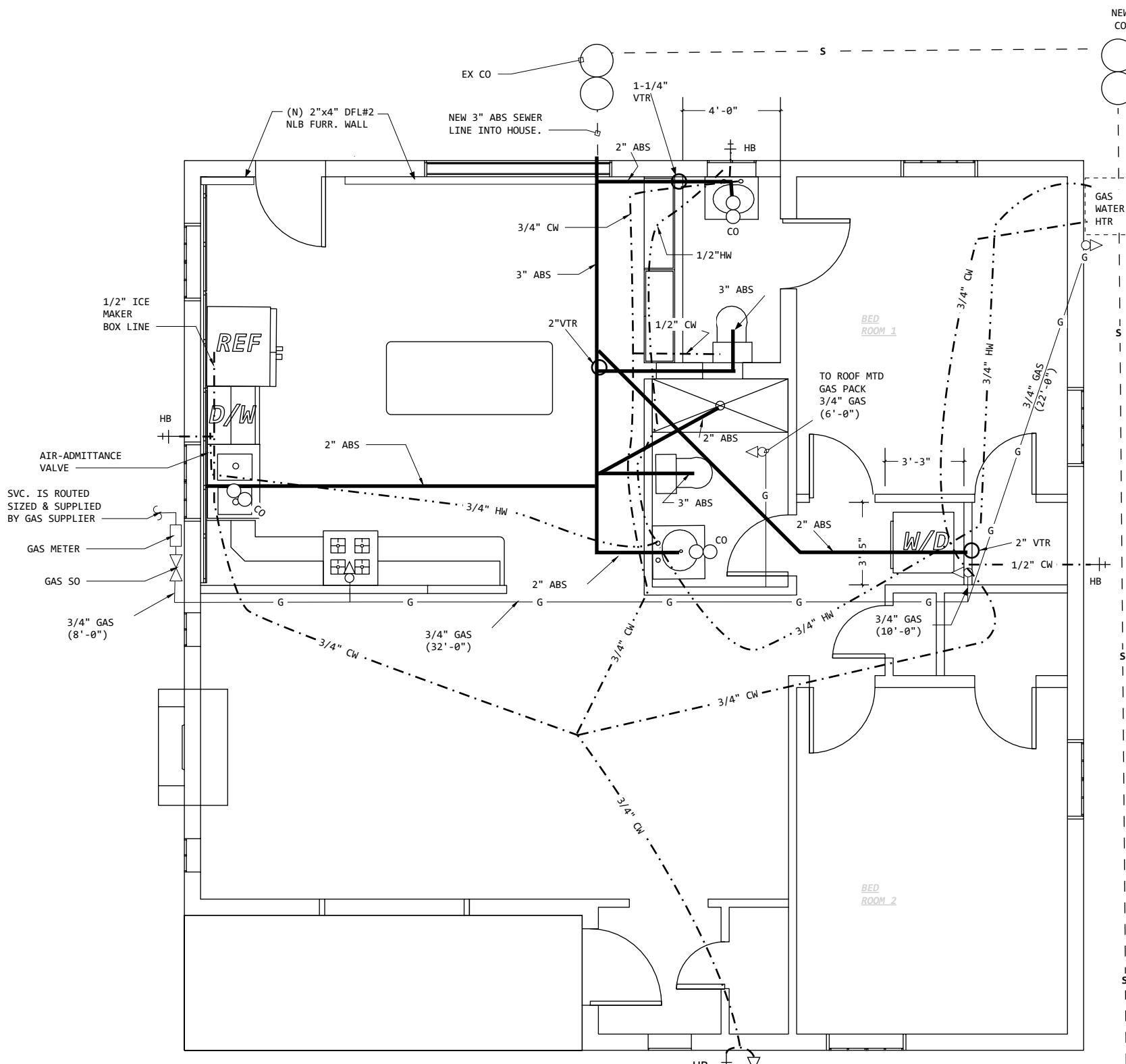
PROJECT  
03.25.2024-V1 REMODEL 1403 E SILVER ST  
DRAWN BY  
IV

Printed Date: 2024.03.26

S2-FRAMING PLAN



Sheet #6



## PLUMBING SYMBOL LEGEND

SYMBOL	ABBREV	ITEM	MAT'L
— · · · ·	CW	COLD WATER	PEX
· · · · ·	HW	HOT WATER	PEX
— — — —	S	SEWER/WASTE	ABS
++ HB	HB	HOSE BIBB W/VAC.BREAKER	
△ SO	SO	SHUT OFF	
○ CO	CO	CLEAN OUT	
— G —	G	GAS	STEEL (BLACK)

## PLUMBING PLAN

Scale: 3/16" : 1'

## GENERAL PLUMBING NOTES

1. INSTALLATION SHALL COMPLY WITH THE 2018 IRC / IPC WITH CITY OF TUCSON AMENDMENTS.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING SEWER INVERT & ALL PIPE ROUTING AND SHALL NOTIFY OWNER OF ANY CONFLICTS WHICH MAY AFFECT THE SCOPE OF WORK.
3. A DIELECTRIC UNION SHALL BE USED TO JOIN ANY DISSIMILAR METAL PIPING OR FITTINGS.
4. CONTRACTOR SHALL FURNISH ANY MISCELLANEOUS ITEMS NORMALLY USED, OR GENERALLY INFERRED TO RENDER A COMPLETE WORKING AND COUNTY APPROVED INSTALLATION.
5. DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER OR EQUAL ALL JOINTS SHALL BE MADE WITH A LEAD-FREE SOLDER PEX IS AN EQUIVALENT SUBSTITUTE.
6. WASTE AND VENT PIPING SHALL BE ABS PLASTIC PIPE. INTERIOR WASTE PIPING SHALL SLOPE AT MINIMUM 2%.
7. PLUMBING VENTS SHALL BE A MINIMUM OF 10 FEET AWAY FROM ALL AIR INTAKES PER 2018 IRC / IPC.
8. HOT WATER PIPING SHALL HAVE MINIMUM OF R-3 INSULATION AT ALL OF THE FOLLOWING CONDITIONS: PIPING FROM THE WATER HEATER TO KITCHEN OUTLETS, PIPING LOCATED OUTSIDE THE CONDITIONED SPACE, OR PIPING WITH RUN LENGTHS GREATER THAN 20 NOMINAL FEET FOR  $\frac{3}{4}$ " PIPING OR 10 NOMINAL FEET FOR  $\frac{1}{2}$ " PIPING PER TABLE N1103.4.2. ALL NEW CONSTRUCTION TO COMPLY WITH 2018 IRC.
9. PLUMBING INSTALLATION TO BE TESTED PER LOCAL CODES, PRIOR TO CLOSING THE SYSTEM.

PROJECT  
03.25.2024\_V1 REMODEL 1403 E SILVER ST  
ISSUE  
DRAWN BY  
IV

Printed Date: 2024.03.26

## WATER &amp; WASTE SCHEDULE

Fixture	Qty	Water FU	Total Water	Waste FU	Total Waste
KITCHEN GRP	1	2.5	2.5	3	3
CLOTHES WASHER	1	1.4	1.4	3	3
TOILET	2	2.2	4.4	3	6
LAVATORY	2	.7	1.4	1	2
*HOSE BIBB	4	2.5	**2.5	-	-
<b>TOTAL</b>		12.2		14	

\* HOSE BIBB SHALL HAVE INTEGRAL BACK FLOW PREVENTER  
\*\* ASSUMED ONLY ONE HOSE BIBB IN USE AT A TIME.

TOTAL DEVELOPED LEN.: 75' TOT. WATER UNITS: 12.2  
ASSUMED WATER PRESS.: 60+ PSI NEW SUPPLY LINE: 1"  
WATER METER SIZE: 1"

## PLUMBING SCHEDULE

Fixture	Trap	Waste	Vent	CW	HW	Notes
KIT SINK	1-1/2"	2"	1-1/2"	1/2"	1/2"	W/DISPOSAL
DISHWASHER	1-1/2"	2"	1.5"	-	1/2"	
LAVATORY	1-1/4"	1-1/2"	1-1/4"	1/2"	1/2"	
TOILET	3"	3"	2"	1/2"	1/2"	
SHOWER	2"	2"	1.5"	1/2"	1/2"	
WATER HTR.	-	-	-	3/4"	1"	W/.75" PRV

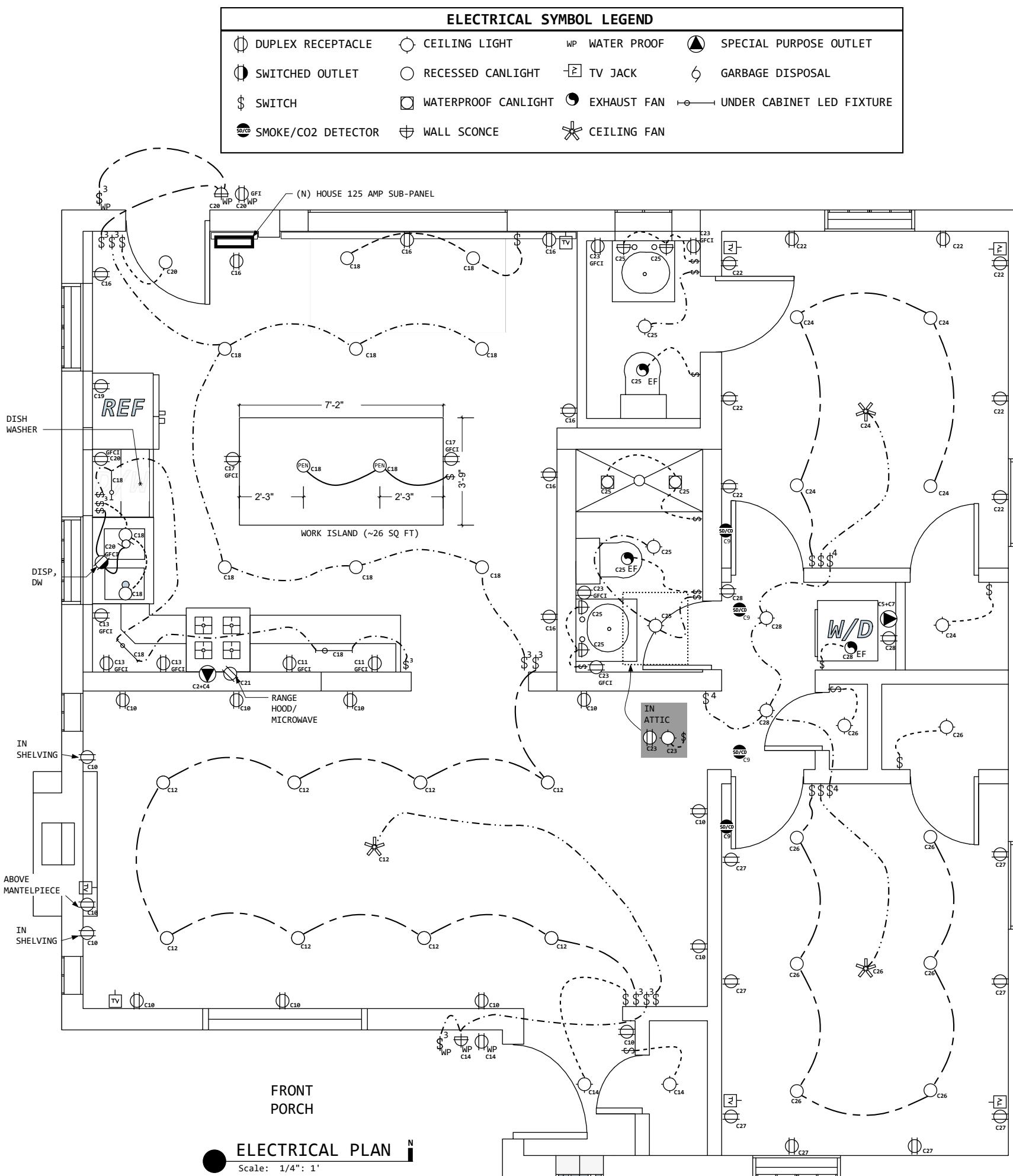
MAX DISTANCE OF TRAP ARM TO VENT:  
1-1/4" = 2'-6" 1-1/2" = 3'-6"  
2" = 5'-0" 3" = 6'-0"  
>= 4" = 10'-0"

## GAS DEMAND CALCULATION

FURNACE 80,000 / 1,000 = 80.0  
RANGE 65,000 / 1,000 = 65.0  
WATER HTR 50,000 / 1,000 = 50.0  
DRYER 35,000 / 1,000 = 35.0

TOTAL 379,000 / 1,000 = 379.0  
GAS LINE DEVELOPED LENGTH: 62'-0"



**HOUSE ELECTRICAL PANEL**SUB-PANEL: 125 AMPS  
MOUNTING: SURFACE120/240 VOLTS  
10 3-WIRE

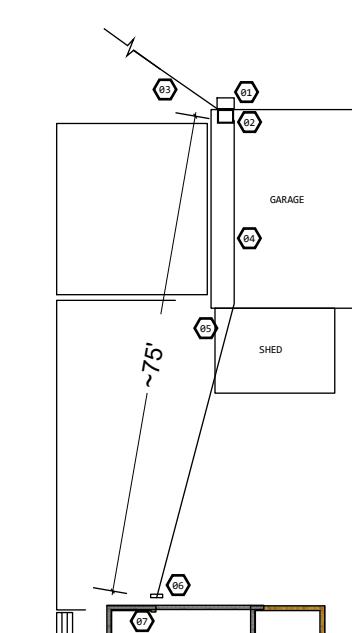
CIR	DESCRIPTION	BRK	WIRE	WIRE	BRK	DESCRIPTION	CIR
1	AC	50/2	6-2	6-2	50/1	RANGE	2
3							4
5	DRYER	30/2	10-3		10-2	30/2	WATER HTR.
7							6
9	SMOKE DET.	15/1	14-2		12-2	20/1	LIVING-RCPT
11	KIT-SE GFCI	20/1	12-2		12-2	20/1	LIVING-LIGHT
13	KIT-SW GFCI	20/1	12-2		12-2	20/1	FR.ENTRY-GFCI
15	KIT-W GFCI	20/1	12-2		12-2	20/1	DIN-RCPT
17	KIT-ISL GFCI	20/1	12-2		14-2	15/1	KIT-LIGHT
19	KIT-FRIDGE	20/1	12-2		12-2	20/1	BK.ENTRY-GFCI
21	KIT-HOOD/MICRO	20/1	12-2		12-2	20/1	N.BR-RCPT
23	BATH-GFCI	20/1	12-2		14-2	15/1	N.BR-LIGHTS
25	BATH-LIGHT	15/1	14-2		14-2	15/1	S.BR-LIGHTS
27	S.BR-RCPT	20/1	12-2		12-2	15/1	LAUNDRY-HALL
29							28
							30

**ELECTRICAL LOAD CALCULATION**

SQ.FT OF LIVING SPACE	1,217	X	3	WATTS/SF	3,651	
SM. APPLIANCE CIRCUIT LOAD	4	X	1,500	WATTS/CIRC	3,000	
MICROWAVE/HOOD	1	X	1,300	WATTS	1,300	
REFRIGERATOR	1	X	1,200	WATTS	1,200	
DISHWASHER/DISPOSAL	1	X	1,500	WATTS	1,500	
BATH RECEPTACLES	2	X	1,500	WATTS	3,000	
DRYER	1	X	5,000	WATTS	5,000	
LAUNDRY	1	X	1,500	WATTS	1,500	
WATER HEATER	1	X	4,500	WATTS	4,500	
RANGE/OVEN	1	X	8,000	WATTS	8,000	
<b>SUB-TOTAL WATTS</b>					32,651	
FIRST 10K WATTS @ 100%					10,000	
REMAINING WATTS @ 40%					22,651	
<b>GENERAL LOAD TOTAL</b>					9,060	
HVAC (GAS PACK)	MCA =	25.7	X	240	WATTS	6,168
<b>TOTAL</b>					WATTS	25,228
					AMPS	105

**ELEC. SITE KEY INDEX**

- EX METER, EX 200 AMP SERVICE-ENTRANCE PANEL WITH ENCLOSED FUSED SWITCH TO REMAIN.
- EX GARAGE SUB PANEL TO REMAIN
- EX O.H. LINE TO TEP POLE TO REMAIN
- EX INT. LINE IN GARAGE THROUGH RAFTERS TO REMAIN.
- EX O.H. LINE TO HOUSE TO BE REPLACED WITH U.G. LINE USING 2" PVC CONDUIT FOR SUB-PANEL FEEDERS: (3) x 3/0 ALUM. + (1) 2 AWG (GRND).
- EX 125 AMP HOUSE SUB-PANEL TO BE REPLACED WITH INSIDE PANEL (KEY 7).
- NEW 125 AMP HOUSE SUB-PANEL MIN 40 CIRCUIT W/ 125 AMP MAIN BREAKER (EATON BRP20B125 OR SIMILAR)

**ELEC SITE PLAN**  
Scale: 1": 30'**E1-ELECTRICAL PLAN****PROJECT**  
03.25.2024-V1 REMODEL 1403 E SILVER ST**DRAWN BY**  
IV

Printed Date: 2024.03.26

Sheet #8

## GENERAL ELECTRICAL NOTES

1. INSTALLATION SHALL COMPLY WITH THE 2018 IRC WITH CITY OF TUCSON AMENDMENTS.
2. EXTERIOR LIGHT FIXTURES SHALL COMPLY WITH THE OUTDOOR LIGHTING CODE ADOPTED BY CITY OF TUCSON.
3. MINIMUM SIZE CONDUCTORS: 15A CIRCUITS: #14AWG COPPER, 20A CIRCUITS: #12AWG COPPER, 30A CIRCUITS: #10AWG COPPER.
4. PROVIDE GFCI RECEPTACLES AT LOCATIONS WHERE INDICATED PER I.R.C. E3802.
5. ARC FAULT CIRCUIT INTERRUPTER - AFCI ALL BRANCH CIRCUITS THAT SUPPLY 15 - AND 20 - AMPERE OUTLETS (LIGHTING, SWITCHES, RECEPTACLES, SMOKE/CARBON MONOXIDE ALARMS, ETC.) IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, SUNROOMS, CLOSETS, HALLWAYS, OR SIMILAR AREAS SHALL BE PROTECTED BY A COMBINATION ARC FAULT CIRCUIT INTERRUPTER.
6. GROUND FAULT CIRCUIT INTERRUPTER - GFCI ALL 15 OR 20 AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED BELOW SHALL HAVE GROUND FAULT-CIRCUIT-INTERRUPTERS PROTECTION FOR PERSONNEL: BATHROOMS, GARAGES AND UNFINISHED ACCESSORY BUILDINGS USED FOR STORAGE OR WORK AREAS, OUTDOORS, CRAWL SPACES AT OR BELOW GRADE LEVEL, KITCHENS, WHERE THE RECEPTACLES ARE INSTALLED TO SERVICE THE COUNTER TOP SURFACES, LAUNDRY, UTILITY, AND WET BAR SINKS, WHERE THE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK.
7. ALL BRANCH CIRCUITS THAT SUPPLY 120V, 1PH, 15AMP or 20AMP SHALL BE ARC FAULT PROTECTED.
8. ALL RECEPTACLES BELOW 5'-6" FROM FINISH FLOOR ELEVATION SHALL BE TAMPER-RESISTANT RECEPTACLES WITH THE EXCEPTION OF RECEPTACLES DEDICATED FOR LUMINAIRE OR APPLIANCES.
9. A RECEPTACLE SHALL BE INSTALLED AT EACH WALL ALONG THE COUNTERTOP SPACE 12 INCHES OR WIDER. RECEPTACLE OUTLETS SHALL BE INSTALLED AT 24" O.C. MAX SPACING. RECEPTACLES ARE NOT REQUIRED DIRECTLY BEHIND THE COOKTOP UNIT OR KITCHEN SINK.
10. ALL RECEPTACLES @ 12"
11. OUTLET SPACING PER 2018 IRC SECTION E3901.2.1
12. CLOSET LIGHTING PER 2018 IRC SECTION E4003.12
13. OUTLETS ABOVE COUNTER TOPS IN KITCHEN SHALL BE GFCI
14. SMOKE DETECTOR INSTALLATION PER 2018 IRC R314: A. SMOKE DETECTORS SHALL BE HARD WIRED W/ BATTERY BACKUP. B. WALL: MINIMUM 6", MAXIMUM 12" BELOW CEILING. MINIMUM 18" FROM CORNERS OR PER LISTING. C. CEILING: MINIMUM 6" FROM VERTICAL SURFACES OR PER LISTING. D. INSTALLATION SHALL BE MINIMUM OF 3'-0" FROM ANY MECHANICAL SUPPLY OR RETURN GRILL. E. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACKUP. F. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED (INTERCONNECTING REQUIRED)
15. PROVIDE ALL SWITCHES, RECEPTACLES, AND CONTROLS WITHIN 48" OF THE FLOOR BUT NOT LESS THAN 15 INCHES ABOVE THE FLOOR, 1003.9.
16. CEILING FANS SHALL BE MOUNTED TO APPROVED BOXES PER 2018 IRC E4004.5

ISSUE 03.25.2024-V1 PROJECT 1403 E SILVER ST  
DRAWN BY IV

Printed Date: 2024.03.26



Sheet #9